



OFFICE OF COUNTY MAYOR GLENN JACOBS

Procurement Division, 1000 N. Central Street, Suite 100, Knoxville, TN 37917

**Knox County Procurement Division
Addendum I to Invitation for Bid 3361
Roof Replacement for Austin East Magnet High School**

Addendum Date: February 2, 2023

Buyer: Ben Sharbel

Opening Date: February 8, 2023 at 4:00 PM

Total Page(s): Eight (8)

Notes and Clarifications:

1. Please see Addendum I from McCarty Holsaple McCarty.

End of Addendum I.

A handwritten signature in blue ink that reads "Ben Sharbel".

Ben Sharbel, CPPO, CPPB
Supervisor of Property Development & Asset Management
Knox County Procurement Division



ADDENDUM 01

BID NUMBER: #3361

PROJECT: A Roof Replacement for Austin-East Magnet High School | MHM 22049

DATE: February 1, 2023

TO: Prospective Bidders

OWNER: Knox County Schools
400 W. Summit Hill Drive
Knoxville, TN 37902

PROCUREMENT: Knox County Procurement
1000 N. Central Street, Suite 100
Knoxville, TN 37917

ARCHITECT: McCarty Holsaple McCarty, Inc.
550 West Main Street, Suite 300
Knoxville, TN 37902

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated January 9, 2023, as noted below. The items listed below shall supersede the previous information in the previously issued Bidding Documents and shall be incorporated into the entire Work described therein. The Bidder shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of three (3) page(s) and the attached documents as listed below.

ATTACHMENTS:

1. Specifications: None.
2. Drawings Sheets: G-001, A-115
3. Other Attachments: Roof Access Door Concrete Threshold Diagram.

CHANGES TO PRIOR ADDENDA:

4. None.

CHANGES TO BIDDING REQUIREMENTS:

5. None.

CHANGES TO AGREEMENT:

6. None.

CHANGES TO CONDITIONS OF THE CONTRACT:

7. None.

CHANGES TO SPECIFICATIONS:

8. None.

CHANGES TO DRAWINGS:

9. Sheet **G-001**: Updated Index of Drawings. Refer to bubbled changes on attached revised Sheet.
10. Sheet **A-115**: Roof Plan A10/A-115 – Modified roof slope and roof insulation thickness. Refer to bubbled changes on attached revised Sheet.

QUESTIONS & ANSWERS / CLARIFICATIONS:

11. Sheet **A-112**: QUESTION – The roof area that the door comes out onto shows adding 3-3/4 inches of new ISO over top of the existing. The door thresholds are not high enough to allow that much insulation on this roof area. Please clarify how you would like to handle this.
 - a. RESPONSE: Contractor shall include the following scope of work in their Base Bid for the two existing roof access doors at Roof Area B:
 - i. Remove the existing threshold and metal flashing, install two vertical #4 steel reinforcing dowels embedded and epoxied 6" into masonry wall below and 4" up into new concrete, and cast-in-place an 8" tall concrete (3,500 PSI) threshold within the existing opening the full width of the existing wall. Provide a positive downward slope of 1/4" per foot towards exterior on top side of concrete threshold.
 - ii. Cut the bottom of the existing hollow metal door frame jambs off to provide a 1/4" space between the bottom of door frame jamb and the top of the new sloped concrete threshold.
 - iii. Install new roof membrane up and over new concrete threshold and under door jambs and new aluminum threshold and seal at all edges. Include all necessary flashing and sealant to create a watertight condition.
 - iv. Cut bottom of existing hollow metal door off 8" and install new metal plate stabilizer within bottom of existing hollow metal door. Existing door hardware shall remain with the addition of a new sweep on bottom of door and a new aluminum threshold installed and embedded into a bed of sealant.
 - v. Prime and paint hollow metal frame and door.
 - vi. Refer to attached diagram sketch.
12. Sheet **A-112**: QUESTION – There is a small low roof area with a note that says add 4.5 inches of new insulation over top of the existing. This will cause the new roof system to be above the through wall counterflashing on that area. This is not a manufacturer accepted detail. All new terminations must be below any existing through wall counterflashing. Please clarify how you would like to handle this.
 - a. RESPONSE: Contractor shall include in their Base Bid the scope of work currently included in the Construction Documents for this roof area.
13. Sheet **A-115**: QUESTION – Reference roof plan A10. It is noted to add 2 inches of ISO over the existing, this will cause the new roof system to be at or above the existing concrete window sill. Please clarify how you would like to handle this.
 - a. RESPONSE: Contractor shall hold the current height of roof membrane at the high side of this roof area just below the window sill by reducing the added roof insulation thickness and sloping the roof downward at 1/8" per foot. As the roof slopes downward the roof insulation thickness shall continue to increase until it reaches the specified added thickness where the roof slope will transition to 1/4" per foot down to the bottom edge of roof.
 - b. Refer to revised Sheet A-115.
14. QUESTION: There are numerous control joints throughout the building that have missing or very deteriorated caulking in them. These control joints will no doubt leak behind the new roof system. Please clarify how you would like to deal with this issue.
 - a. RESPONSE: Contractor shall remove deteriorated joint sealant from brick veneer control joints from top of metal deck / existing roof insulation to remain up to 12" above the new roof membrane surface and install new backer rod and joint sealant.
 - i. Joint Sealant: Type S-2 – Non-Staining Silicone Sealant: ASTM C920, Grade NS.
 - ii. Color: Shall match brick veneer and verified by Architect prior to installation.
15. CLARIFICATION: The minimum roof membrane turn up and height of mechanical unit curbs can be reduced to 6" minimum as long as the mechanical unit curb is located outside of the roof "ponding area" and as long as this reduction in height does not affect or change in anyway the specified and complete warranty provided by the Contractor and the roof manufacturer. The roof "ponding area" is considered to be the area of roof that is below the overflow scupper discharge elevation. The 8"

minimum roof membrane turn up and mechanical unit curb height shall be maintained for all mechanical unit curbs located within the “ponding areas”.

- a. This does not relieve the Contractor and roof manufacturer from providing the complete roof warranty as specified in the Construction Documents.

END OF ADDENDUM

MATERIALS	
	COMPACTED FILL EARTH WORK
	UNDISTURBED SOIL
	GRAVEL, POROUS FILL
	SAND
	ASPHALT
	STRUCTURAL CONCRETE
	LIGHTWEIGHT CONCRETE
	TERRAZZO
	CUT STONE
	CAST STONE
	BRICK, COMMON FACE
	BRICK, GLAZED
	CONCRETE MASONRY UNIT
	STRUCTURAL CLAY TILE
	STEEL
	ALUMINUM/ORNAMENTAL METAL
	CONTINUOUS WOOD FRAMING
	BLOCKING OR SHIM
	FINISH WOODWORK
	PLYWOOD
	PARTICLE BOARD
	GYPSUM WALL BOARD
	WATERPROOFING/ DAMPROOFING/AIR/ MOISTURE BARRIER
	RIGID INSULATION
	BATT INSULATION
	CARPETING (LARGE SCALE)
	RESILIENT FLOORING
	PLASTIC LAMINATE
	LEAD-LINED GYPSUM WALLBOARD
	GLASS
	GLASS BLOCK
	ACOUSTICAL CEILING BOARD
	WOOD FLOORING
	SPRAY-ON FIREPROOFING OR INSULATION
	EXTERIOR SHEATHING
	SOLID SURFACING
	EIFS
	PLASTER STUCCO W/ METAL LATH

AUSTIN

2800 MA

SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	ISSUE DATE	REV NO.	ISSUED BY	REVISION DATE
GENERAL					
G-001	SHEET INDEX, CODE INFORMATION, AND PROJECT NOTES	12/16/22	2	ADDENDUM 01	02/01/23
ARCHITECTURAL					
A-101	OVERALL ROOF PLAN - MAIN BUILDING & SITE PLAN	12/16/22	1	BIDDING	01/09/23
A-111	PARTIAL ROOF PLAN - MAIN BUILDING - AREA A	12/16/22	1	BIDDING	01/09/23
A-112	PARTIAL ROOF PLAN - MAIN BUILDING - AREAS B & C	12/16/22	1	BIDDING	01/09/23
A-113	PARTIAL ROOF PLAN - MAIN BUILDING - AREA D	12/16/22	1	BIDDING	01/09/23
A-114	PARTIAL ROOF PLAN - MAIN BUILDING - AREA E	12/16/22	1	BIDDING	01/09/23
A-115	PARTIAL ROOF PLANS - MAIN BUILDING - AREAS F & G	12/16/22	1	ADDENDUM 01	02/01/23
A-116	ROOF PLANS - ANCILARY BUILDINGS	12/16/22	1	BIDDING	01/09/23
A-301	ROOF DETAILS - MAIN BUILDING	12/16/22	1	BIDDING	01/09/23
A-302	ROOF DETAILS - MAIN BUILDING	12/16/22	1	BIDDING	01/09/23
A-303	ROOF DETAILS - MAIN & ANCILARY BUILDINGS	12/16/22	1	BIDDING	01/09/23

CODE INFORMATION

APPLICABLE CODES (STATE OF TENNESSEE)

2012 INTERNATIONAL BUILDING CODE (IBC) (EXCLUDING CHAPTER 11 AND SECTION 3411)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2017 INTERNATIONAL MECHANICAL CODE (IMC)
2017 NATIONAL ELECTRICAL CODE (NEC) (NFPA 70)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) (OR
2008 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) (GROUP F-1, F-2, S-1 AND S-2 ONLY))
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL EXISTING BUILDING CODE (IEBC) (SCOPE OF WORK RELATED TO EXISTING BLDGS.)
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (FOR BLDGS. REQUIRED TO COMPLY WITH TN PUBLIC BUILDING ACCESSIBILITY ACT
2012 NFPA 101 LIFE SAFETY CODE (LSC 101) (STATE BLDGS., EDUCATIONAL OCCUPANCIES AND ANY OCCUPANCY REQUIRING AN INSPECTION BY THE TSPMO FOR INITIAL LICENSURE)

APPLICABLE CODES (KNOX COUNTY, TN)

2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL FIRE CODE (IFGC)
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2018 NFPA 101 LIFE SAFETY CODE (LSC 101)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL PLUMBING CODE (IPC)
2018 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE FOR BUILDINGS AND FACILITIES (CPCPC)

2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2017 NATIONAL ELECTRICAL CODE (NEC) (NFPA 70)
2018 INTERNATIONAL FIRE CODE

LOCAL REGULATIONS:

CODE: INST. (INSTITUTIONAL)
PARCEL: 062FM00101
BUILDING SETBACKS: NOT APPLICABLE TO SCOPE OF THIS PROJECT
LOT COVERAGE: EXISTING, NO CHANGE
MAXIMUM HEIGHT ALLOWABLE: EXISTING, NO CHANGE
ALLOWABLE NUMBER OF STORIES: EXISTING, NO CHANGE
EASEMENTS: EXISTING, NO CHANGE
ADJACENT PROPERTY USE: RM-2, OS, O
ZONING: EXISTING, NO CHANGE
LANDSCAPE SCREENING/PLANTING REQUIRED: EXISTING, NO CHANGE
SITE DRAINAGE RUNOFF & RETENTION REQUIREMENTS: EXISTING, NO CHANGE

BUILDING DESCRIPTION:

EXISTING STRUCTURES: REPLACEMENT OF EXISTING ROOF SYSTEMS AT MAIN BUILDING AND SELECT ANCILARY BUILDINGS AS INDICATED.

CONSTRUCTION CLASSIFICATION:

MAIN BUILDING: AREAS: A,B,C PART OF D.F. PART OF E. (I)
EXISTING: TYPE IIIA, ONE-HOUR PROTECTED, FULLY SPRINKLERED, 2 STORY
MAIN BUILDING: (AREAS: PART OF D, PART OF E)
EXISTING: TYPE IIB, UNPROTECTED, UNSPRINKLERED, 1 STORY
FOOTBALL FIELDHOUSE, TICKET BOOTH, CONCESSIONS, STORAGE BUILDINGS:
EXISTING: TYPE IIB
IECC CLIMATE ZONE 4

OCCUPANCY CLASSIFICATION: (IBC CH. 3, LSC CH.4)

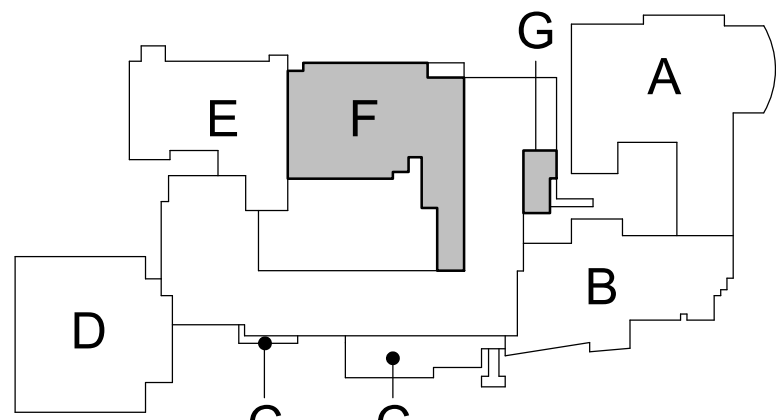
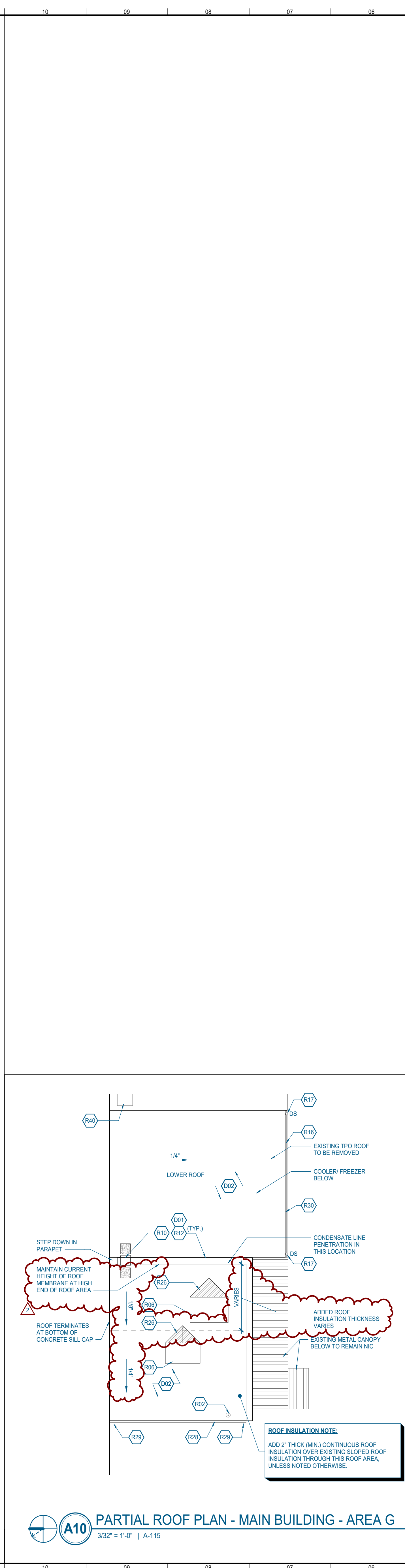
OCCUPANCY TYPE (IBC 301.1), MAIN BUILDINGS: GROUP E (EDUCATIONAL)
HAZARD TYPE (LSC 6-2): ORDINARY HAZARD
FIRE DISTRICT: N/A

PHYSICAL PROPERTIES (IBC CH. 5):

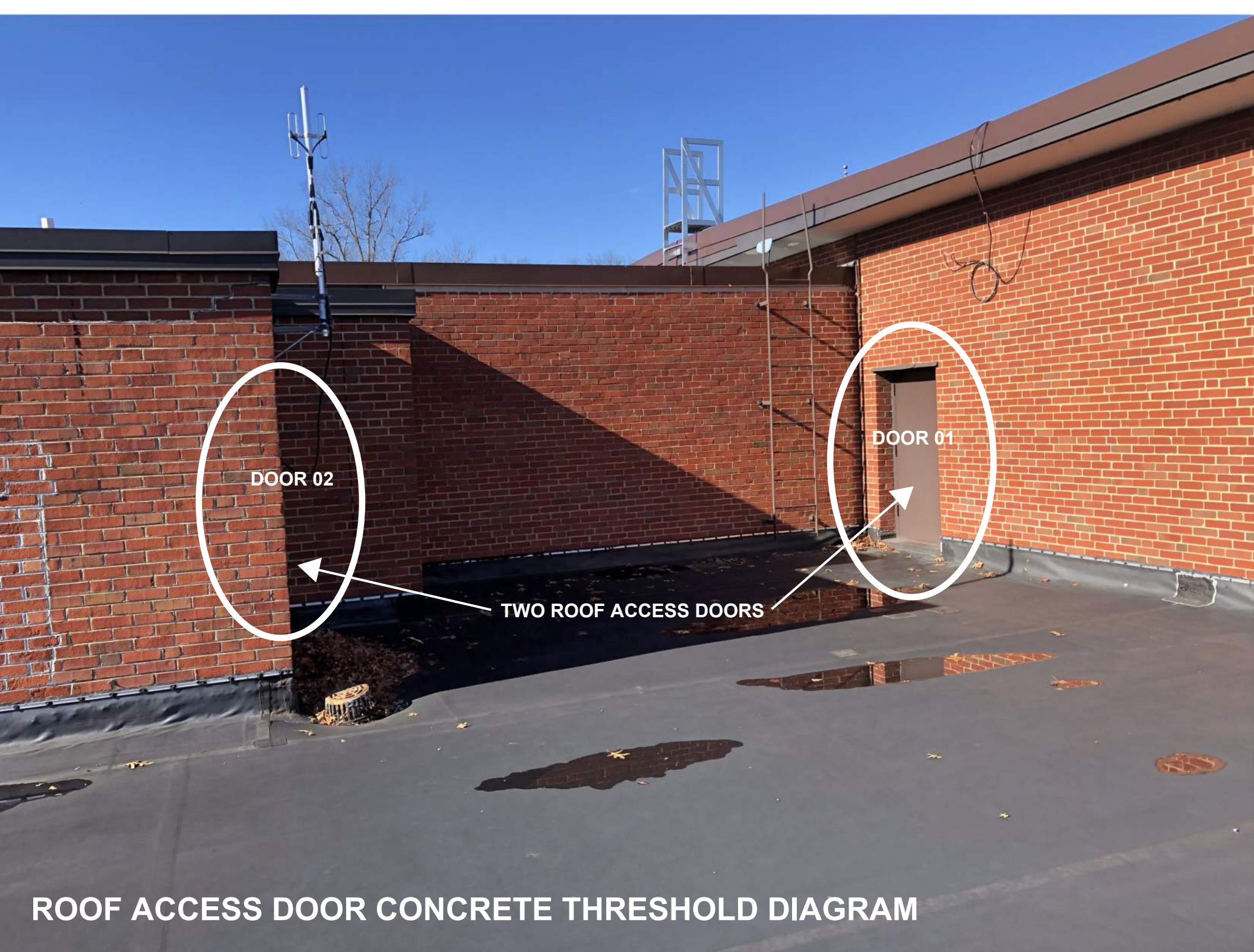
NUMBER OF STORIES: 2
FLOOR AREA PER STORY: NO CHANGE
FLOOR LEVEL: ALL FLOORS: NO CHANGE
GROSS SF: NO CHANGE
NET SF: NO CHANGE

PROJECT VICINITY MAP

MHM		
McCarthy Holsaple McCarthy 550 W. Main St., Suite 300 Knoxville, TN 37902 1 865.544.2000 www.mhmc.com		
Project Information:		
22049		
A ROOF REPLACEMENT FOR		
AUSTIN-EAST MAGNET HIGH SCHOOL		
2800 MARTIN LUTHER KING JR. AVE. KNOXVILLE, TN 37914		
KNOX COUNTY SCHOOLS		
400 W Summit Hill Dr SW Knoxville, TN 37902 www.knoxschools.org		
Consultant:		
#	ISSUED BY:	DATE
1	BIDDING	01/09/2023
2	ADDENDUM 01	02/01/2023
Issue Date:	DECEMBER 16, 2022	
PIC	MARGARET BUTLER	
PM	AARON MILLER	
PA	JUSTIN HARE	
Drawn By:		
Checked By:	AARON MILLER	
Sheet Information:		
G-001		
SHEET INDEX, CODE INFORMATION, AND PROJECT NOTES		
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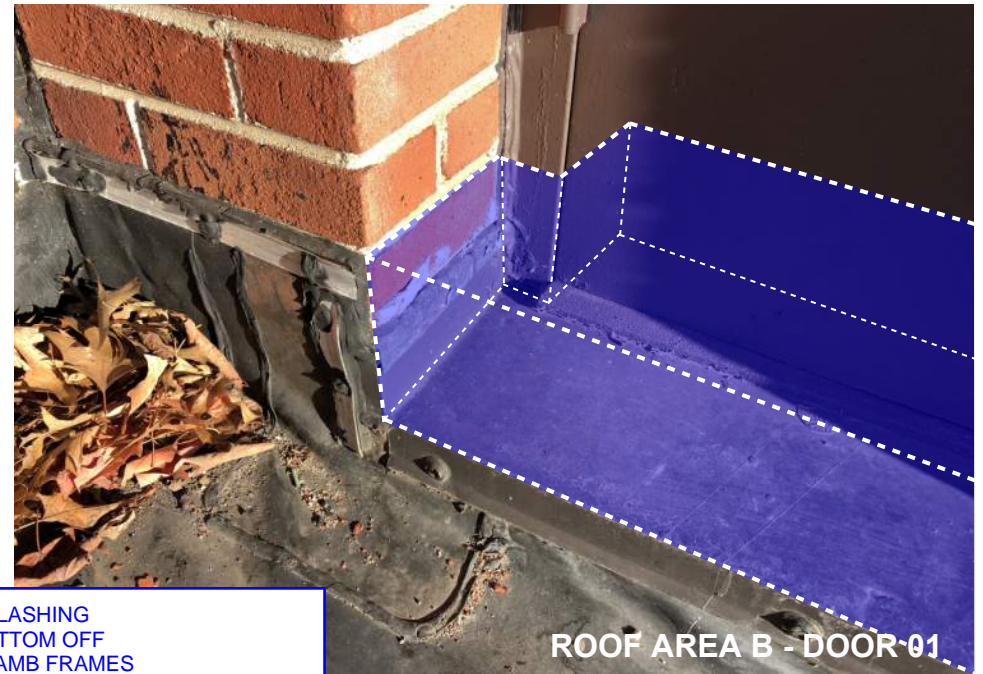


DOOR 02

DOOR 01

TWO ROOF ACCESS DOORS

ROOF ACCESS DOOR CONCRETE THRESHOLD DIAGRAM



1. REMOVE THRESHOLD AND FLASHING
2. REMOVE DOOR AND CUT BOTTOM OFF
3. CUT OFF BOTTOM OF TWO JAMB FRAMES
4. DOWEL INTO WALL BELOW AND FORM / POUR CONCRETE
5. REINSTALL DOOR USING EXISTING HARDWARE
6. INSTALL ROOF MEMBRANE UP AND OVER CONCRETE
7. PRIME AND PAINT DOOR AND FRAME
8. INSTALL NEW THRESHOLD EMBEDDED IN SEALANT BED

