

OFFICE OF COUNTY MAYOR GLENN JACOBS

Procurement Division, 1000 N. Central Street, Suite 100, Knoxville, TN 37917

Knox County Procurement Division Addendum I to Invitation for Bid 3361 Roof Replacement for Austin East Magnet High School

Addendum Date: February 2, 2023

Buyer: Ben Sharbel

Opening Date: February 8, 2023 at 4:00 PM

Total Page(s): Eight (8)

Notes and Clarifications:

1. Please see Addendum I from McCarty Holsaple McCarty.

End of Addendum I.

Ben Sharbel, CPPO, CPPB Supervisor of Property Development & Asset Management Knox County Procurement Division



ADDENDUM 01 BID NUMBER: #3361



PROJECT:A Roof Replacement for Austin-East Magnet High School | MHM 22049**DATE:**February 1, 2023

TO: Prospective Bidders

- OWNER: Knox County Schools 400 W. Summit Hill Drive Knoxville, TN 37902
- PROCUREMENT: Knox County Procurement 1000 N. Central Street, Suite 100 Knoxville, TN 39717
- ARCHITECT: McCarty Holsaple McCarty, Inc. 550 West Main Street, Suite 300 Knoxville, TN 37902

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated January 9, 2023, as noted below. The items listed below shall supersede the previous information in the previously issued Bidding Documents and shall be incorporated into the entire Work described therein. The Bidder shall acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of three (3) page(s) and the attached documents as listed below.

ATTACHMENTS:

- 1. Specifications: None.
- 2. Drawings Sheets: G-001, A-115
- 3. Other Attachments: Roof Access Door Concrete Threshold Diagram.

CHANGES TO PRIOR ADDENDA:

4. None.

CHANGES TO BIDDING REQUIREMENTS:

5. None.

CHANGES TO AGREEMENT:

6. None.

CHANGES TO CONDITIONS OF THE CONTRACT:

7. None.

CHANGES TO SPECIFICATIONS:

8. None.

CHANGES TO DRAWINGS:

- 9. Sheet G-001: Updated Index of Drawings. Refer to bubbled changes on attached revised Sheet.
- 10. Sheet A-115: Roof Plan A10/A-115 Modified roof slope and roof insulation thickness. Refer to bubbled changes on attached revised Sheet.

QUESTIONS & ANSWERS / CLARIFICATIONS:

- 11. Sheet A-112: QUESTION The roof area that the door comes out onto shows adding 3-3/4 inches of new ISO over top of the existing. The door thresholds are not high enough to allow that much insulation on this roof area. Please clarify how you would like to handle this.
 - a. RESPONSE: Contractor shall include the following scope of work in their Base Bid for the two existing roof access doors at Roof Area B:
 - i. Remove the existing threshold and metal flashing, install two vertical #4 steel reinforcing dowels embedded and epoxied 6" into masonry wall below and 4" up into new concrete, and cast-in-place an 8" tall concrete (3,500 PSI) threshold within the existing opening the full width of the existing wall. Provide a positive downward slope of 1/4" per foot towards exterior on top side of concrete threshold.
 - ii. Cut the bottom of the existing hollow metal door frame jambs off to provide a 1/4" space between the bottom of door frame jamb and the top of the new sloped concrete threshold.
 - iii. Install new roof membrane up and over new concrete threshold and under door jambs and new aluminum threshold and seal at all edges. Include all necessary flashing and sealant to create a watertight condition.
 - iv. Cut bottom of existing hollow metal door off 8" and install new metal plate stabilizer within bottom of existing hollow metal door. Existing door hardware shall remain with the addition of a new sweep on bottom of door and a new aluminum threshold installed and embedded into a bed of sealant.
 - v. Prime and paint hollow metal frame and door.
 - vi. Refer to attached diagram sketch.
- 12. Sheet A-112: QUESTION There is a small low roof area with a note that says add 4.5 inches of new insulation over top of the existing. This will cause the new roof system to be above the through wall counterflashing on that area. This is not a manufacturer accepted detail. All new terminations must be below any existing through wall counterflashing. Please clarify how you would like to handle this.
 - a. RESPONSE: Contractor shall include in their Base Bid the scope of work currently included in the Construction Documents for this roof area.
- 13. Sheet A-115: QUESTION Reference roof plan A10. It is noted to add 2 inches of ISO over the existing, this will cause the new roof system to be at or above the existing concrete window sill. Please clarify how you would like to handle this.
 - a. RESPONSE: Contractor shall hold the current height of roof membrane at the high side of this roof area just below the window sill by reducing the added roof insulation thickness and sloping the roof downward at 1/8" per foot. As the roof slopes downward the roof insulation thickness shall continue to increase until it reaches the specified added thickness where the roof slope will transition to 1/4" per foot down to the bottom edge of roof.
 - b. Refer to revised Sheet A-115.
- 14. QUESTION: There are numerous control joints throughout the building that have missing or very deteriorated caulking in them. These control joints will no doubt leak behind the new roof system. Please clarify how you would like to deal with this issue.
 - RESPONSE: Contractor shall remove deteriorated joint sealant from brick veneer control joints from top of metal deck / existing roof insulation to remain up to 12" above the new roof membrane surface and install new backer rod and joint sealant.
 - i. Joint Sealant: Type S-2 Non-Staining Silicone Sealant: ASTM C920, Grade NS.
 - ii. Color: Shall match brick veneer and verified by Architect prior to installation.
- 15. CLARIFICATION: The minimum roof membrane turn up and height of mechanical unit curbs can be reduced to 6" minimum as long as the mechanical unit curb is located outside of the roof "ponding area" and as long as this reduction in height does not affect or change in anyway the specified and complete warranty provided by the Contractor and the roof manufacturer. The roof "ponding area" is considered to be the area of roof that is below the overflow scupper discharge elevation. The 8"

minimum roof membrane turn up and mechanical unit curb height shall be maintained for all mechanical unit curbs located within the "ponding areas".

a. This does not relieve the Contractor and roof manufacturer from providing the complete roof warranty as specified in the Construction Documents.

END OF ADDENDUM

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MATERIALS		13 12 11 LS LEGEND	10
COMPACTED FILL EARTH	SHEET NUMBER	GRAPHIC SCALE	
UNDISTURBED SOIL	SHEET SEQUENCE NUMBER	0 1/2" 1" 2"	
GRAVEL, POROUS FILL	DISCIPLINE DESIGNATOR DASH FOR DISCIPLINE 2nd DIGIT	SHEET NUMBER	
SAND	TRUE NORTH	A24 VIEW NAME 1/8" = 1'-0" A-101 SUB-TITLE	
ASPHALT	VERTICAL ELEVATIONS	DRAWING REVISION	
STRUCTURAL CONCRETE	• LEVEL XX	$ \land \qquad $	
LIGHTWEIGHT CONCRETE			
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CUT STONE		+X'-X" HORIZONTAL SPOT ELEVATION	
CAST STONE	A24 / A-101 SHEET NUMBER ON WHICH CONTINUATION IS FOUND	E/W XX'-XX" N/S XX'-XX"	
BRICK, COMMON FACE	KEYNOTE TAGS	- X-XX - ROOF CORE LOCATIONS	
BRICK, GLAZED	A2 PLAN KEYED NOTE		
CONCRETE MASONRY UNIT	00 00 00 - SPECIFICATION KEYNOTE DESCRIPTION	BREAK LINE	SHEET NO. SHEET GENERAL G-001 SHEET INDEX, CODE INFORMAT
STRUCTURAL CLAY TILE	ELEVATION MARKS	V PROPERTY LINE	ARCHITECTURAL A-101 OVERALL ROOF PLAN - MAIN BU A-111 PARTIAL ROOF PLAN - MAIN BU
STEEL	X## X## A-XXX X## INTERIOR ELEVATION NUMBER & SHEET NUMBER	N90 00' 00" Distance	A-112PARTIAL ROOF PLANS - MAIN BA-113PARTIAL ROOF PLAN - MAIN BUA-114PARTIAL ROOF PLAN - MAIN BUA-115PARTIAL ROOF PLANS - MAIN BA-116ROOF PLANS - ANCILARY BUILD
ALUMINUM/ORNAMENTAL	X##	PROJECT SCOPE BOUNDARY	A-301ROOF DETAILS - MAIN BUILDINGA-302ROOF DETAILS - MAIN BUILDINGA-303ROOF DETAILS - MAIN & ANCILA
METAL CONTINUOUS WOOD	A-XXX A-XXX EXTERIOR ELEVATION NUMBER & SHEET NUMBER	CONSTRUCTION JOINTS	
FRAMING	SECTION MARKS	<u>EJ</u>	
BLOCKING OR SHIM	X A-XXX SECTION VIEW NUMBER & SHEET NUMBER	CJ	APPLICABLE CODES (STATE OF TENNE 2012 INTERNATIONAL BUILDING CODE (
FINISH WOODWORK	X ENLARGED VIEW A-XXX NUMBER & SHEET NUMBER	EQUIPMENT FURNITURE TAG	2012 INTERNATIONAL FUEL GAS CODE 2012 INTERNATIONAL MECHANICAL COI 2017 NATIONAL ELECTRICAL CODE (NEC 2012 INTERNATIONAL ENERGY CONSER 2006 INTERNATIONAL ENERGY CONSER 2012 INTERNATIONAL FIRE CODE
PLYWOOD	GRID MARKS	EQ-XXXX	2012 INTERNATIONAL EXISTING BUILDIN 2010 ADA STANDARDS FOR ACCESSIBL 2012 NFPA 101 LIFE SAFETY CODE (LSC INSPECTION BY THE TSFMO FO
PARTICLE BOARD			APPLICABLE CODES (KNOX COUNTY, T 2018 INTERNATIONAL BUILDING CODE (2018 INTERNATIONAL FIRE CODE (IFC) 2018 INTERNATIONAL EXISTING BUILDIN 2018 NFPA 101 LIFE SAFETY CODE (LSC
GYPSUM WALL BOARD	NEW GRID MARK AND LINE EXISTING GRID MARK AND LINE	AREA NAME - OCCUPANCY TYPE	2018 INTERNATIONAL ENERGY CONSER 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL CODE COUNCIL P LOCAL REGULATIONS: ZONE:
WATERPROOFING/ DAMPPROOFING/ AIR/ MOISTURE BARRIER	ROOM NAME AND NUMBER	OCC. LOAD FACTOR	PARCEL: BUILDING SETBACKS: LOT COVERAGE: MAXIMUM HEIGHT ALLOWABLE: ALLOWABLE NUMBER OF STORIES:
RIGID INSULATION	ROOM NAME 		EASEMENTS: ADJACENT PROPERTY USE: PARKING: LANDSCAPE SCREENING/ PLANTING RE SITE DRAINAGE/ RUN-OFF & DETENTION DECUMPENTO
BATT INSULATION		FIRE EXTINGUISHER CABINET	RETENTION REQUIREMENTS: <u>BUILDING DESCRIPTION:</u> EXISTING STRUCTURES; REPLACEMEN [®] <u>CONSTRUCTION CLASSIFICATION:</u>
CARPETING (LARGE SCALE)	USE ROOM NUMBER WITH	WALL MTD RECESSED RECESSED MTD	MAIN BUILDING: (AREAS: A,B,C, PART O EXISTING: TYPE IIA, ONE-HOUR MAIN BUILDING: (AREAS: PART OF D, PA EXISTING: TYPE IIB, UNPROTEC
RESILIENT FLOORING PLASTIC LAMINATE	DOOR MARK		FOOTBALL FIELDHOUSE, TICKET BOOTH EXISTING: TYPE IIIB IECC CLIMATE ZONE 4
LEAD-LINED GYPSUM WALLBOARD	OCCUPANT LOAD		OCCUPANCY CLASSIFICATION: (IBC CH OCUPANCY TYPE (IBC 302.1): MAIN BUIL HAZARD TYPE (LSC 6-2): FIRE DISTRICT:
GLASS	OPENING TYPE SYMBOL	A10 FIRE RATING / PARTITION HEIGHT	PHYSICAL PROPERTIES (IBC CH. 5): NUMBER OF STORIES: FLOOR AREA PER STORY: FLOOR LEVEL: ALL FLOORS <u>GROSS SF:</u> NET SF:
GLASS BLOCK	INTERIOR OPENING TAG (NUMERIC)	PARTITION TYPE	<u>NET SF:</u>
ACOUSTICAL CEILING BOARD	EXTERIOR OPENING TAG (ALPHA)	ITEMS NOT IN SCOPE	
WOOD FLOORING	GLAZING PANEL TAG	AREA NOT IN SCOPE	
SPRAY-ON FIREPROOFING OR INSULATION	GL-X GLAZING TYPE	OWNER FURNISHED EQUIPMENT / ITEM	
EXTERIOR SHEATHING	DIMENSIONS	ROOF DRAIN	
SOLID SURFACING	XX'-XX" SUFFIX CLEAR: CLEAR EXACT DIMENSION RO: ROUGH OPENING MO: MASONRY OPENING	SUMP AREA OVERFLOW RD OD	
PLASTER STUCCO W/ METAL LATH	WORK POINTS	ROOF DRAIN SUMP AREA RD	
	DIST.		
17 16		13 12 11	10

A ROOF REPLACEMENT FOR AUSTIN-EAST MAGNET HIGH SCHOOL

KNOX COUNTY SCHOOLS 2800 MARTIN LUTHER KING JR. AVE. KNOXVILLE, TN 37914

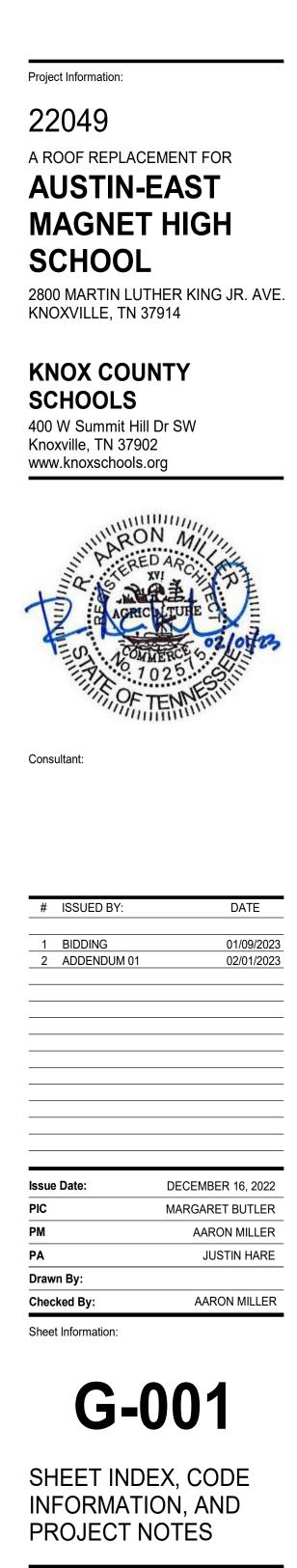
PROJECT NO.: 22049

ISSUED: DECEMBER 16, 2022

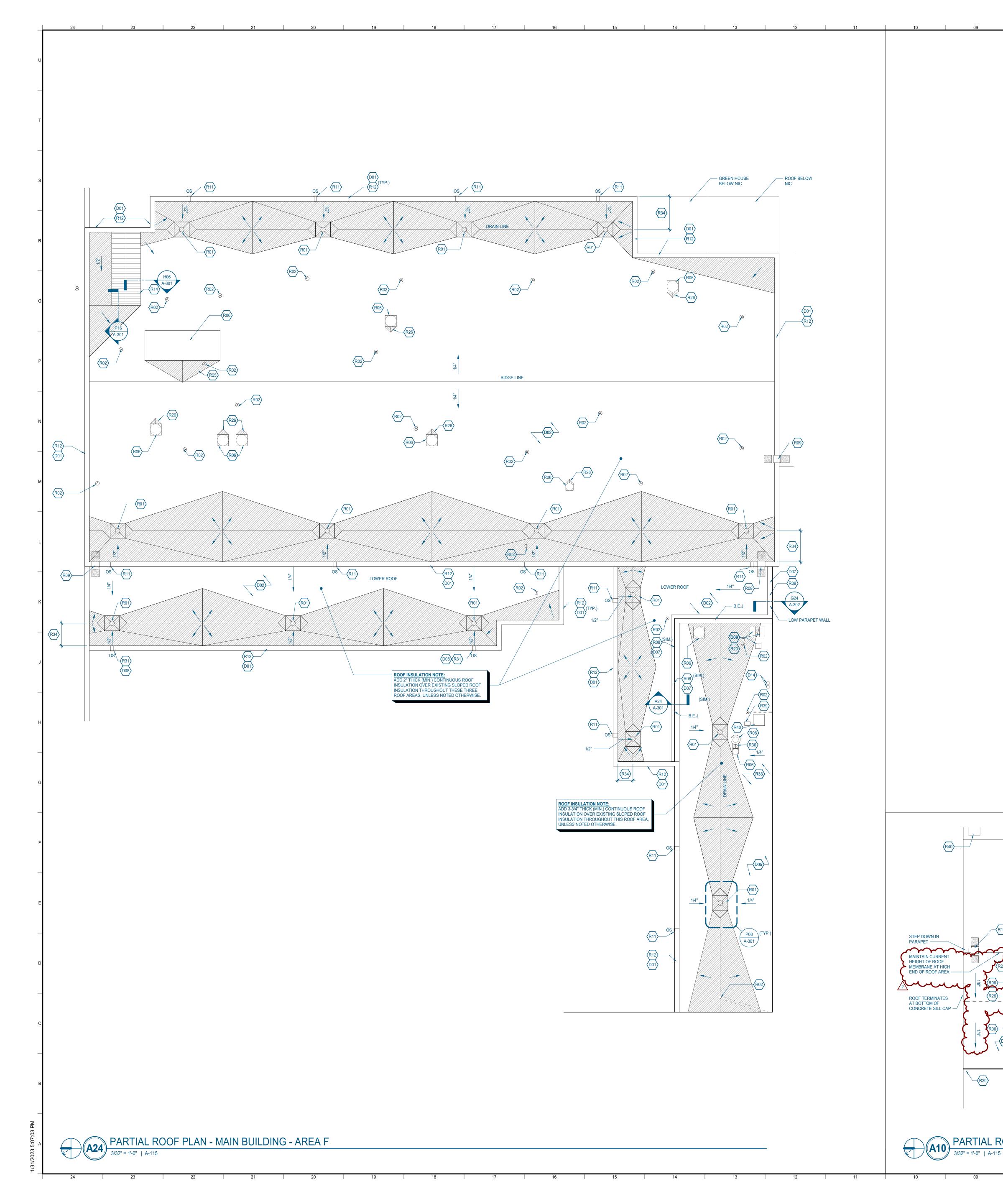
SHEET INDEX PROJECT GENERAL NOTES ISSUE DATE REV NO. ISSUED BY REVISION DATE OWNER COORDINATION T DESCRIPTION KEEP DRIVEWAYS, DOCKS AND ENTRANCES SERVING THE PREMISES CLEAR AND AVAILABLE TO THE OWNER AND VENDORS AT 2 ADDENDUM 01 02/01/2023 ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE SPACE TION, AND PROJECT NOTES 12/16/22 AND TIME REQUIREMENTS FOR STORAGE OF MATERIAL AND EQUIPMENT ON SITE. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE OWNER PERTAINING TO THE USE OF THE BUILDING BUILDING & SITE PLAN UILDING - AREA A ENTRANCES, ELEVATORS, WORKING HOURS, NOISY WORK, ACCESS TO ADJACENT SPACES, SECURITY, OWNERSHIP OF SALVAGED ITEMS AND OTHER ITEMS DEEMED TO BE OF MUTUAL INTEREST. BIDDING 01/09/202 12/16/22 BUILDING - AREAS B & C BIDDING 01/09/202 12/16/22 AVOID INTERRUPTION OF SERVICES (ELECTRICAL, SIGNAL, MECHANICAL, FIRE PROTECTION, LIFE SAFETY, PLUMBING, ETC.) TO ILDING - AREA D OCCUPIED AREAS OF THE BUILDING DURING CONSTRUCTION. IF SERVICE INTERRUPTIONS ARE UNAVOIDABLE, THE CONTRACTOR SHALL NOTIFY AND OBTAIN APPROVAL FROM THE OWNER AND TENANT AT LEAST 24 HOURS PRIOR TO DING - AREA B BUILDING - AREAS F & PROCEEDING SUCH WORK. ALL WORK SHALL CONFORM TO ALL INDUSTRY AND MANUFACTURERS' PUBLISHED STANDARDS AND THE OWNER'S REQUIREMENTS FOR QUALITY OF MATERIALS AND WORKMANSHIP AS WELL AS ALL REQUIREMENTS IN THE DOCUMENTS. THE BIDDING BIDDING 01/09/2023 12/16/22 CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR AND COMPLY WITH THE OWNER'S STANDARD DETAILS OF 12/16/22 1 ARY BUILDINGS 01/09/2023 CONSTRUCTION. ANY CONFLICTING REQUIREMENTS OF THE SOURCES LISTED ABOVE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. 5. PENETRATIONS IN THE EXTERIOR BUILDING WALL ARE NOT ALLOWED, INCLUDING THOSE FOR OUTLETS AND BLOCKING, UNLESS EXPRESSLY ALLOWED BY THE OWNER. 6. COORDINATE STAGING AREAS AND CONSTRUCTION ACCESS WITH OWNER PRIOR TO START OF CONSTRUCTION. PERMITS AND SAFETY 1. THE CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS. CODE INFORMATION THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND THE WORKMEN ON 2. THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSONS ON, ABOUT, OR ADJACENT TO THE PREMISES WHERE THE WORK IS BEING PERFORMED. THE CONTRACTOR SHALL COMPLY WITH ALL OF THE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS. (IBC) (EXCLUDING CHAPTER 11 AND SECTION 3411) 3. PROVIDE ALL NECESSARY TEMPORARY POWER, LIGHTING, FIRE PROTECTION, ETC, AS REQUIRED DURING CONSTRUCTION. DDE (IMC) 4. DO NOT OBSTRUCT ACCESS TO EXISTING EXITS OR REDUCE THE WIDTH OF EXIT ACCESS CORRIDORS AND HALLWAYS. C) (NFPA 70) RVATION CODE (IECC) OR RVATION CODE (IECC) (GROUP F-1, F-2, S-1 AND S-2 ONLY) CONSTRUCTION COORDINATION NG CODE (IEBC) (SCOPE OF WORK RELATED TO EXISTING BLDGS.) THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK STATED OR IMPLIED SO THAT NO E DESIGN (FOR BLDGS. REQUIRED TO COMPLY WITH TN PUBLIC BUILDING ACCESSIBILITY ACT WORK IS LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION. C 101) (STATE BLDGS., EDUCATIONAL OCCUPANCIES AND ANY OCCUPANCY REQUIRING AN 2. WHERE SPECIAL COORDINATION IS NECESSARY, PREPARE MEMORANDA FOR DISTRIBUTION TO EACH PARTY INVOLVED OR INITIAL LICENSURE) OUTLINING SPECIAL PROCEDURES REQUIRED FOR COORDINATION. INCLUDE SUCH ITEMS AS REQUIRED NOTICES, REPORTS, AND ATTENDANCE AT MEETINGS. 2018 INTERNATIONAL FUEL GAS CODE (IFGC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 3. COORDINATE CONSTRUCTION ACTIVITIES INDICATED ON CONTRACT DOCUMENTS TO ASSURE EFFICIENT, ORDERLY, COMPLETE 2017 NATIONAL ELECTRICAL CODE (NEC) (NFPA 70) ING CODE (IEBC) AND OPERATIONAL INSTALLATIONS OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE 2018 INTERNATIONAL FIRE CODE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION. WHERE MATERIALS APPLIED TO, RVATION CODE (IECC) OR ARE IN DIRECT CONTACT WITH, WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED. PERFORMANCE CODE FOR BUILDING AND FACILITIES (ICCPC) 4. CONFINE OPERATIONS TO AREAS WITHIN CONTRACT LIMITS INDICATED. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION IS INDICATED ARE NOT TO BE DISTURBED. INST (INSTITUTIONAL) 5. WHERE AVAILABILITY OF SPACE IS LIMITED, COORDINATE INSTALLATION OF DIFFERENT COMPONENTS TO ASSURE MAXIMUM NOT APPLICABLE TO SCOPE OF THIS PROJECT ACCESSIBILITY OF REQUIRED MAINTENANCE, SERVICE AND REPAIR. EXISTING, NO CHANGE 6. COORDINATE TRADES TO PATCH FINISHES THAT ARE DAMAGED AS A RESULT OF CUTTING IN OF WORK. EXISTING, NO CHANGE EXISTING, NO CHANGE EXISTING, NO CHANGE THE CONTRACTOR AT ALL TIMES SHALL PROTECT ALL EXISTING INTERIOR SPACES EXPOSED DURING CONSTRUCTION AGAINST RN-2, OS, O DAMAGE DUE TO WEATHER CONDITIONS AND CONSTRUCTION ACTIVITIES. EXISTING, NO CHANGE EXISTING, NO CHANGE CONTRACT DOCUMENTS EXISTING, NO CHANGE 1. REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS. NOTES APPEAR ON VARIOUS DRAWINGS FOR DIFFERENT SYSTEMS AND MATERIALS. REVIEW ALL SHEETS AND APPLY NOTES TO RELATED BUILDING COMPONENTS. IT OF EXISTING ROOF SYSTEMS AT MAIN BUILDING AND SELECT ANCILARY BUILDINGS AS INDICATED. 2. DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND ARE INTENDED TO INCLUDE OR IMPLY ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. OF D,F, PART OF E, G) R PROTECTED, FULLY SPRINKLERED, 2 STORY THE ARCHITECT AND ITS DESIGN TEAM ARE SOLELY RESPONSIBLE FOR INTERPRETATION OF THE CONTRACT DOCUMENTS. ART OF E) THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS IN THE CTED, UNSPRINKLERED, 1 STORY DRAWINGS AND SPECIFICATIONS BEFORE SUBMITTING THEIR BID PRICE. THE ARCHITECT WILL CLARIFY THE DOCUMENTS IN AN ADDENDUM. IF ANY ADDENDUM IS NOT ISSUED BEFORE THE BID IS SUBMITTED, THE CONTRACTOR'S BID SHALL BE BASED ON H, CONCESSIONS, STORAGE BUILDINGS: THE HIGHER QUANTITY AND/OR HIGHER QUALITY AND/OR HIGHER COST. DO NOT SCALE DRAWINGS. DIMENSIONS PROVIDED GOVERN. IF DIMENSIONS OR PROVIDED INFORMATION ARE IN QUESTION, THE CONTRACTOR SHALL, OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING OR CONTINUING WITH ASSOCIATED AND AFFECTED WORK. PROCEEDING WITHOUT CLARIFICATION SHALL BE AT CONTRACTOR'S OWN RISK WHERE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASSOCIATED COSTS. LARGE SCALE DRAWINGS GOVERN OVER SMALL SCALE DRAWINGS THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, QUANTITIES, BENCHMARKS, WORKPOINTS, SPOT ELEVATIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS, DISCREPANCIES, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE PROJECT. 7. FIELD MEASURE AND CONFIRM DIMENSIONS FOR O.F./C.I. EQUIPMENT. 8. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS AND CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK. WHERE A DETAIL IS SHOWNOR NOTE IS DESCRIBED FOR ONE CONDITION, IT SHALL BE ASSUMED TO APPLY TO ALL SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY NOTED AS SUCH ON DRAWINGS. PROJECT VICINITY MAP **CONSTRUCTION** 1. ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION. 2. ALL EXTERIOR STEEL HANDRAILS, GUARDRAILS, ETC. SHALL BE GALV. AND PAINTED WITH HIGH PERFORMANCE COATINGS, UNLESS NOTED OTHERWISE . EXISTING AND COMPLETED WORK CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. APPLY PROTECTIVE COVERING WHERE REQUIRED TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL EXISTING CONDITIONS AND COMPLETED WORK WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT. 2. CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS FREQUENTLY AS NECESSARY THROUGH THE DURATION OF THE CONSTRUCTION PERIOD. 3. REPAIR AND RESEED ANY EXISTING GRASS AREAS DISTURBED DURING CONSTRUCTION AND STAGING.

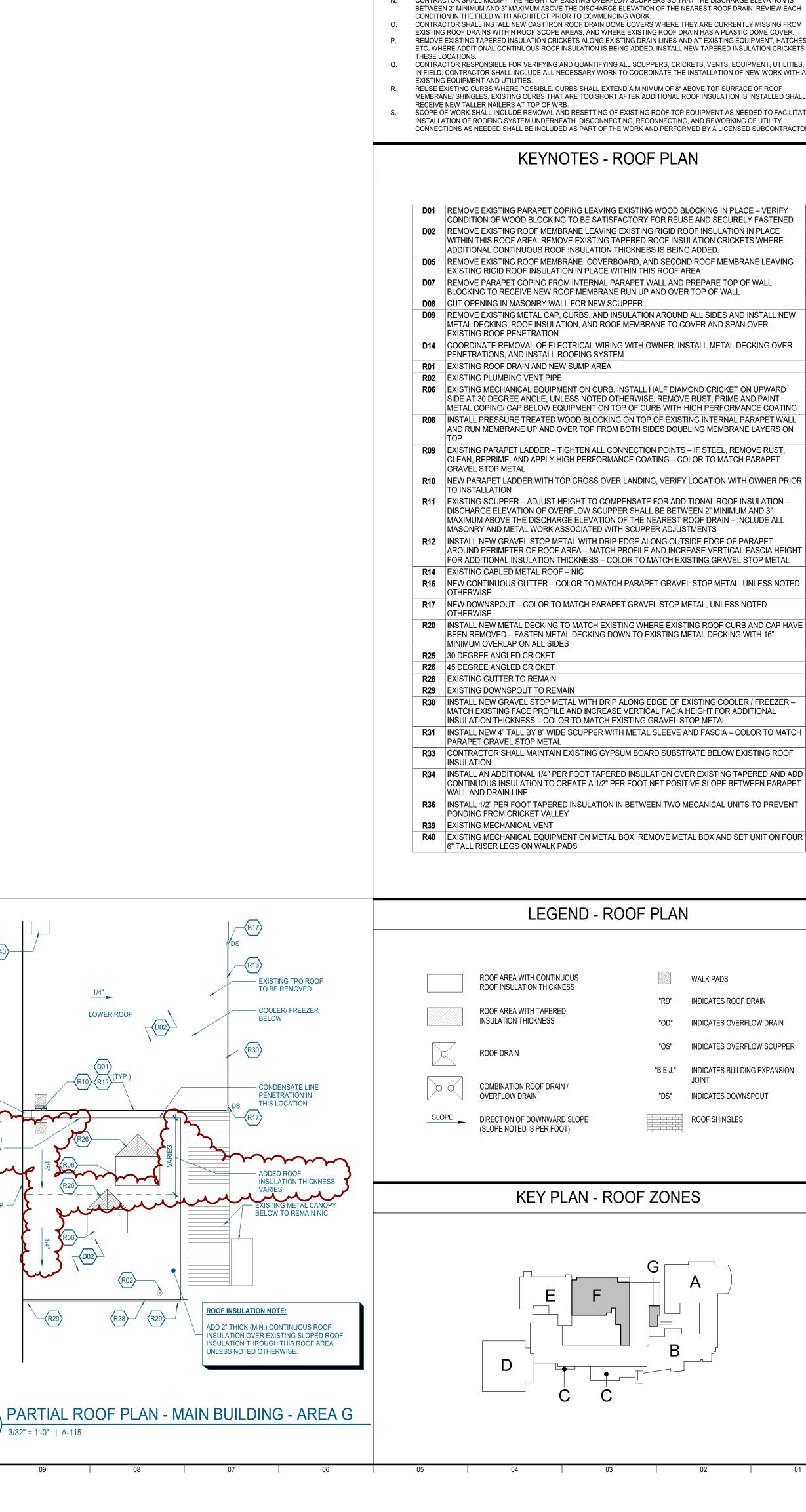
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GENERAL NOTES - ROOF PLAN A. THE TERM "ROOF AREA" INDICATES THE CONTINUOUS ROOF AREA WITHIN PERIMETER PARAPETS, BUILDING WALLS, AND/OR ROOF EDGES. MINIMUM ROOF INSULATION THICKNESS FOR EACH ROOF AREA SHALL MEET R-30ci (5-1/4" MINIMUM THICKNESS), UNLESS NOTED OTHERWISE. MINIMUM THICKNESS SHALL BE AT OUTSIDE PERIMETER OF SUMP AREAS, UNLESS NOTED OTHERWISE. MINIMUM ROOF INSULATION THICKNESS IN SUMP AREAS AT THE CENTER OF DRAINS SHALL BE 1" LESS THAN OVERALL ROOF AREA MINIMUM ROOF INSULATION THICKNESS. ROOF CORINGS WERE PERFORMED BY KNOX COUNTY SCHOOLS ON 11/29/22 AND 11/30/22, OBSERVED BY MCCARTY HOLSAPLE MCCARTY, AND DOCUMENTED IN A SCHEDULE ON SHEET A-101. CONTRACTOR SHALL CONFIRM EXISTING THICKNESS TO REMAIN AFTER ROOF MEMBRANE REMOVAL AND ADD ADDITIONAL THICKNESS TO MEET THE MINIMUM REQUIRED ROOF INSULATION THICKNESS. CONTRACTOR SHALL CONFIRM EXISTING ROOF INSULATION IS NOT DAMAGED OR WET AND SUFFICIENTLY FASTENED TO ROOF DECKING PRIOR TO INSTALLING NEW ROOF INSULATION AND ROOF MEMBRANE. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR DIFFERENCES IN EXISTING CONDITIONS. ALL ROOF MEMBRANE AREAS SHALL HAVE A MINIMUM POSITIVE SLOPE OF 1/4" PER FOOT, UNLESS NOTED OTHERWISE. ARROWS ON ROOF PLAN INDICATE DOWNWARD SLOPE. ALL CRICKETS SHALL HAVE A MINIMUM NET POSITIVE SLOPE OF 1/4" PER FOOT, UNLESS NOTED OTHERWISE. PROVIDE MINIMUM 15 DEGREE ANGLED FULL DIAMOND SNUB NOSE CRICKETS ALONG DRAIN LINES BETWEEN ALL ROOF DRAINS AS GRAPHICALLY SHOWN ON ROOF PLAN. PROVIDE MINIMUM 30 DEGREE ANGLED HALF DIAMOND CRICKETS ON THE UPWARD SIDES OF ALL ROOF TOP EQUIPMENT. HATCHES, SKYLIGHTS, AND ANY OTHER CURBED ROOF PENETRATION, TO ENSURE POSITIVE DRAINAGE AROUND AND AWAY FROM ROOF PENETRATION, UNLESS NOTED OTHERWISE SUMPS SHALL BE INSTALLED AT ALL ROOF DRAINS WITH A MINIMUM POSITIVE SLOPE OF 1/2" PER FOOT. ALL SUMPS AROUND SINGLE ROOF DRAINS SHALL BE 4'-0" BY 4'-0" CENTERED ON DRAIN. ALL SUMPS AROUND COMBINATION ROOF DRAIN / OVERFLOW DRAIN SHALL BE 4'-0" BY 6'-0" CENTERED ON COMBINATION DRAINS. PROVIDE WALK PADS AT THE TOPS AND BOTTOMS OF ALL PARAPET LADDERS, AROUND ALL ROOF HATCHES, AND EQUIPMENT, OUTSIDE OF ALL ROOF ACCESS DOORS, AND WHERE ALSO GRAPHICALLY SHOWN ON ROOF PLAN. CONTRACTOR SHALL MODIFY GAS AND CONDENSATE PIPING AT EACH MECHANICAL UNIT TO COMPENSATE FOR ADDITIONAL ROOF INSULATION THICKNESS. PROVIDE A MINIMUM OF 2" OF SPACE BETWEEN TOP SURFACE OF ROOF MEMBRANE AND CONTRACTOR SHALL EXTEND PLUMBING PIPE VENTS UP AS NEEDED TO COMPENSATE FOR ADDITIONAL ROOF INSULATION THICKNESS AT ALL APPLICABLE LOCATIONS. CONNECTION SHALL BE MADE BELOW THE PIPE PENETRATION FLASHING BOOT PROVIDING A MINIMUM OF 8" OF PIPING ABOVE THE TOP SURFACE OF ROOF MEMBRANE. CONTRACTOR SHALL MODIFY THE BOTTOM OF EXISTING PARAPET LADDERS TO COMPENSATE FOR ADDITIONAL ROOF INSULATION THICKNESS AT ALL APPLICABLE LOCATIONS. PROVIDE A MINIMUM OF 2" OF SPACE BETWEEN TOP SURFACE OF ROOF MEMBRANE AND BOTTOM EDGE OF PARAPET LADDER CONTRACTOR SHALL MODIFY THE HEIGHT OF EXISTING OVERFLOW SCUPPERS SO THAT THE DISCHARGE ELEVATION IS BETWEEN 2" MINIMUM AND 3" MAXIMUM ABOVE THE DISCHARGE ELEVATION OF THE NEAREST ROOF DRAIN. REVIEW EACH CONTRACTOR SHALL INSTALL NEW CAST IRON ROOF DRAIN DOME COVERS WHERE THEY ARE CURRENTLY MISSING FROM EXISTING ROOF DRAINS WITHIN ROOF SCOPE AREAS, AND WHERE EXISTING ROOF DRAIN HAS A PLASTIC DOME COVER. REMOVE EXISTING TAPERED INSULATION CRICKETS ALONG EXISTING DRAIN LINES AND AT EXISTING EQUIPMENT, HATCHES, ETC. WHERE ADDITIONAL CONTINUOUS ROOF INSULATION IS BEING ADDED. INSTALL NEW TAPERED INSULATION CRICKETS AT CONTRACTOR RESPONSIBLE FOR VERIFYING AND QUANTIFYING ALL SCUPPERS, CRICKETS, VENTS, EQUIPMENT, UTILITIES, ETC. IN FIELD. CONTRACTOR SHALL INCLUDE ALL NECESSARY WORK TO COORDINATE THE INSTALLATION OF NEW WORK WITH ALL MEMBRANE/ SHINGLES. EXISTING CURBS THAT ARE TOO SHORT AFTER ADDITIONAL ROOF INSULATION IS INSTALLED SHALL SCOPE OF WORK SHALL INCLUDE REMOVAL AND RESETTING OF EXISTING ROOF TOP EQUIPMENT AS NEEDED TO FACILITATE INSTALLATION OF ROOFING SYSTEM UNDERNEATH. DISCONNECTING, RECONNECTING, AND REWORKING OF UTILITY CONNECTIONS AS NEEDED SHALL BE INCLUDED AS PART OF THE WORK AND PERFORMED BY A LICENSED SUBCONTRACTOR.

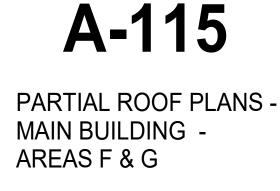
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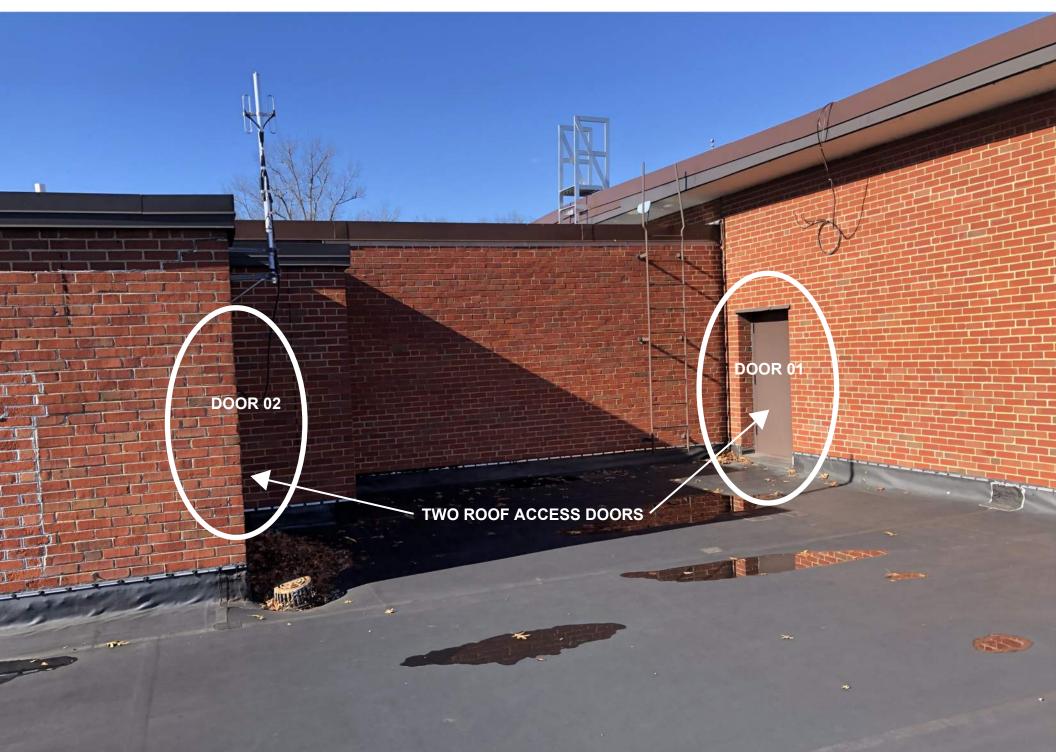
Project Information:

22049

A ROOF REPLACEMENT FOR **AUSTIN-EAST MAGNET HIGH** SCHOOL 2800 MARTIN LUTHER KING JR. AVE. KNOXVILLE, TN 37914 **KNOX COUNTY** SCHOOLS 400 W Summit Hill Dr SW Knoxville, TN 37902 www.knoxschools.org Consultant: # ISSUED BY: DATE 1 BIDDING 01/09/2023 2 ADDENDUM 01 02/01/2023 Issue Date: DECEMBER 16, 2022 MARGARET BUTLER PIC PM AARON MILLER JUSTIN HARE PA Drawn By: AARON MILLER Checked By: Sheet Information:



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ROOF ACCESS DOOR CONCRETE THRESHOLD DIAGRAM

